

ZB# 83-10

Linda Nadas

48-1-1.33

Public Hearing:
June 13, 1983

Sent Notice to
✓ Sentinel 5/16/83.

Need applications
+ check \$25.00
~~List from Assessors~~

Check rec'd. 6/10/83.

General Receipt

5270

TOWN OF NEW WINDSOR

555 Union Avenue
New Windsor, N. Y. 12550

July 12 19 83

Received of

Linda Nadas

\$ 25⁰⁰/₁₀₀

Twenty Five and 00/100

DOLLARS

For

Zoning Application 83-10

DISTRIBUTION

FUND	CODE	AMOUNT
25.00 Check		
Check # 142		

By

Pauline J. Townsend

Town Clerk

Title

Williamson Law Book Co., Rochester, N. Y. 14609



TOWN OF NEW WINDSOR
ZONING BOARD OF APPEALS

APPLICATION FOR VARIANCE OR SPECIAL PERMIT

83-10
Date: June 9, 1983

I. ✓ Applicant Information:

- (a) LINDA NADAS, BULL RD. ROCK TAVERN N.Y. 12575
(Name, address and phone of Applicant) (Owner)
(b) _____
(Name, address and phone of purchaser or lessee)
(c) _____
(Name, address and phone of attorney)
(d) _____
(Name, address and phone of broker)

II. Application type:

- ☐ Use Variance ☐ Sign Variance
☒ Area Variance ☐ Special Permit

III. Property Information:

- (a) R4-A (Same as above) 48-1-1.38 93.8 acres.
(Zone) (Address) (S B L) (Lot size)
(b) What other zones lie within 500 ft.? none
(c) Is a pending sale or lease subject to ZBA approval of this application? no
(d) When was property purchased by present owner? 1970
(e) Has property been subdivided previously? yes When? 1972
(f) Has property been subject of variance or special permit previously? no When? -
(g) Has an Order to Remedy Violation been issued against the property by the Zoning Inspector? yes
(h) Is there any outside storage at the property now or is any proposed? Describe in detail: N/A

IV. Use Variance:

- (a) Use Variance requested from New Windsor Zoning Local Law, Section _____, Table of _____ Regs., Col. _____, to allow:
(Describe proposal) _____

- (b) The legal standard for a "Use" variance is unnecessary hardship. Describe why you feel unnecessary hardship will result unless the use variance is granted. Also set forth any efforts you have made to alleviate the hardship other than this application.

V. ☒ Area variance:

- (a) Area variance requested from New Windsor Zoning Local Law, Section ~~18-12~~ ¹⁸⁻¹² Table of Bulk Regs., Col. 6.

Block 1, Lot 13.3 - 93.8 acres

Requirements	Proposed or Available	Variance Request
Min. Lot Area		
Min. Lot Width		
<input checked="" type="checkbox"/> Req'd. Front Yd. <u>200 ft.</u>		<u>200 ft.</u>
Req'd. Side Yd.	<u>1</u>	
Req'd. Rear Yd.		
Req'd. Street Frontage*		
Max. Bldg. Hgt.		
Min. Floor Area*		
Dev. Coverage* %	%	%
Floor Area Ratio**		

* Residential Districts only

** Non-residential districts only

- ☒ (b) The legal standard for an "AREA" variance is practical difficulty. Describe why you feel practical difficulty will result unless the area variance is granted. Also, set forth any efforts you have made to alleviate the difficulty other than this application.

In November 1982 we dug a farm pond in an area where water has accumulated for centuries. We made it deep enough hopefully so it will remain fresh. The spot was located with the help of the Dept. of Agriculture Soil Conservation Service - ag. rept. in middle town. The size was based on cost. The agricultural rept. never mentioned the need for a building permit. It never crossed my mind. In checking around I have discovered that no one has ever needed a building permit for a farm pond. We dug in an already wet spot in order to collect water from run off from our hill.

There was a culvert at a 3 foot drop from the roadway. We have extended the culvert and cleaned up and back filled to the road because there was a drop from the road into this wet and livestock, it is also in a convenient location for irrigation. We are in an agricultural district and we are a farm.

- (b) Describe in detail the sign(s) for which you seek a variance, and set forth your reasons for requiring extra or oversize signs.

- (c) What is total area in square feet of all signs on premises including signs on windows, face of building, and free-standing signs?

VII. Special Permit:

- (a) Special Permit requested under New Windsor Zoning Local Law, Section _____, Table of _____ Regs., Col. _____.
- (b) Describe in detail the use and structures proposed for the special permit.

VIII. ✓ Additional comments:

- (a) Describe any conditions or safeguards you offer to ensure that the quality of the zone and neighboring zones is maintained or upgraded and that the intent and spirit of the New Windsor Zoning Local Law is fostered. (Trees, landscaping, curbs, lighting, paving, fencing, screening, sign limitations, utilities, drainage.)

The pond is landscaped with grass and crownvetch to control erosion. Also there are young trees planted at the western end. We put in a 16 foot culvert making it much safer than the edge of the road ever was in past history. It is an excellent source of water for local fire protection since there are no fire hydrants in this area. It is a beautiful sight on Bull Road.

IX. Attachments required:

- ☒ Copy of letter of referral from Bldg./Zoning Inspector.
- ☐ Copy of tax map showing adjacent properties.
- ☐ Copy of contract of sale, lease or franchise agreement.
- ☒ Copy(ies) of site plan or survey showing the size and location of the lot, the location of all buildings, facilities, utilities, access drives, parking areas, trees, landscaping, fencing, screening, signs, curbs, paving and streets within 200 ft. of the lot.
- ☐ *N/A* Copy(ies) of sign(s) with dimensions.
- ☒ Check in the amount of \$ 25.00 payable to TOWN OF NEW WINDSOR.
- ☒ Photos of existing premises which show all present signs and landscaping.

X. AFFIDAVIT

Date June 10, 1983

STATE OF NEW YORK)
COUNTY OF ORANGE) SS.:

The undersigned Applicant, being duly sworn, deposes and states that the information, statements and representations contained in this application are true and accurate to the best of his knowledge or to the best of his information and belief. The applicant further understands and agrees that the Zoning Board of Appeals may take action to rescind any variance or permit granted if the conditions or situation presented herein are materially changed.

Linda Nadas
(Applicant)
LINDA NADAS

Sworn to before me this

10th day of June, 19 83.

Patricia Delio

PATRICIA DELIO
Notary Public, State of New York
Appointed in Orange County
My Commission expires Mar. 30, 1985.

XI. ZBA Action:

(a) Public Hearing date _____.

(b) Variance is _____.

Special Permit is _____.

(c) Conditions and safeguards: _____

A FORMAL DECISION WILL FOLLOW
WHICH WILL BE ADOPTED BY
RESOLUTION OF ZONING BOARD OF APPEALS.

NEW WINDSOR ZONING BOARD OF APPEALS

-----x

In the Matter of the Application of

LINDA NADAS,

DECISION GRANTING
VARIANCE

83-10.

-----x

WHEREAS, LINDA NADAS of Bull Road, Rock
Tavern, N. Y. 12575, has made application before the
Zoning Board of Appeals for an area variance for the purposes of:
creating a farm pond on property located on Bull Road (R-4A zone);
and

WHEREAS, a public hearing was held on the 13th day of
June, 1983 before the Zoning Board of Appeals at the Town Hall,
New Windsor, New York; and

WHEREAS, the applicant appeared in behalf of herself

_____ ; and

WHEREAS, the application was unopposed ; and

WHEREAS, the Zoning Board of Appeals of the Town of New
Windsor makes the following findings of fact in this matter:

1. The notice of public hearing was duly sent to residents
and businesses as prescribed by law and published in The Sentinel, also
as required by law.

2. The evidence shows: that there was a swamp located
in the area previously to the creation of the pond

3. The evidence shows that the spot for the pond was chosen
with the assistance of the U. S. Dept. of Agriculture

WHEREAS, the Zoning Board of Appeals makes the following findings of law in this matter:

1. The evidence shows that the applicant will encounter practical difficulty if the area variance requested is not granted.

2. The proposed variance will not result in substantial detriment to adjoining properties or change the character of the neighborhood.

NOW, THEREFORE, BE IT

RESOLVED, that the Zoning Board of Appeals of the Town of New Windsor grant a 200 ft. front yard variance with stipulation that a stone fence not less than 30" in height and 100 ft. in length, be con-* in accordance with plans submitted at the public hearing.

BE IT FURTHER,

RESOLVED that the Secretary of the Zoning Board of Appeals of the Town of New Windsor transmit a copy of this decision to the Town Clerk, Town Planning Board and applicant.

Dated: June 27, 1983 :

S/

Chairman

*structured as a protective barrier,

INTER-OFFICE CORRESPONDENCE

TO: TOWN PLANNING BOARD
TOWN BUILDING/ZONING OFFICER KENNEDY

FROM: ZONING BOARD OF APPEALS

SUBJECT: PUBLIC HEARINGS BEFORE ZBA - June 13, 1983

DATE: June 3, 1983

Please be advised that the following public hearings are scheduled to be heard before the ZBA on the evening of June 13, 1983:

LINDA NADAS - Request for front yard variance;

DEBRA KAISER - Request for front yard variance;

JULIAN RUSSELL - Request for rear yard variance.

I have attached hereto copies of the pertinent applications together with the public hearing notices which appeared in The Sentinel.

Pat

/pd

Attachments

(914) 565-8550

May 27, 1983

Mrs. Linda Nadas
Bull Road
Rock Tavern, N. Y. 12550

RE: APPLICATION FOR VARIANCE - #83-10

Dear Linda:

After receiving your note, I attempted to reach you by phone but had no success.

Please be advised that your notice appeared in The Sentinel under date 5/19/83. I have proof of publication in the file so there is no need to contact the newspaper. However, I will need your application and check in the sum of \$25.00 in order to complete my file before the hearing. The Town Assessor's office furnished me with a copy of your list. Everything else is in order.

If you have any questions, please do not hesitate to call me.

Very truly yours,

PATRICIA DELIO, Secretary
Zoning Board of Appeals

/pd



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK
(914) 565-8550

Date: June 14, 1983

Mrs. Linda Nadas
Bull Road
Rock Tavern, N. Y. 12575

RE: APPLICATION BEFORE ZONING BOARD OF APPEALS
83-10 - NADAS

Dear Linda:

This is to confirm that your above application before the
New Windsor Zoning Board of Appeals was granted
at a meeting held on the 13th day of June, 1983.

A formal decision will be drafted and acted upon at a later
date. You will be receiving a copy of same by return mail.

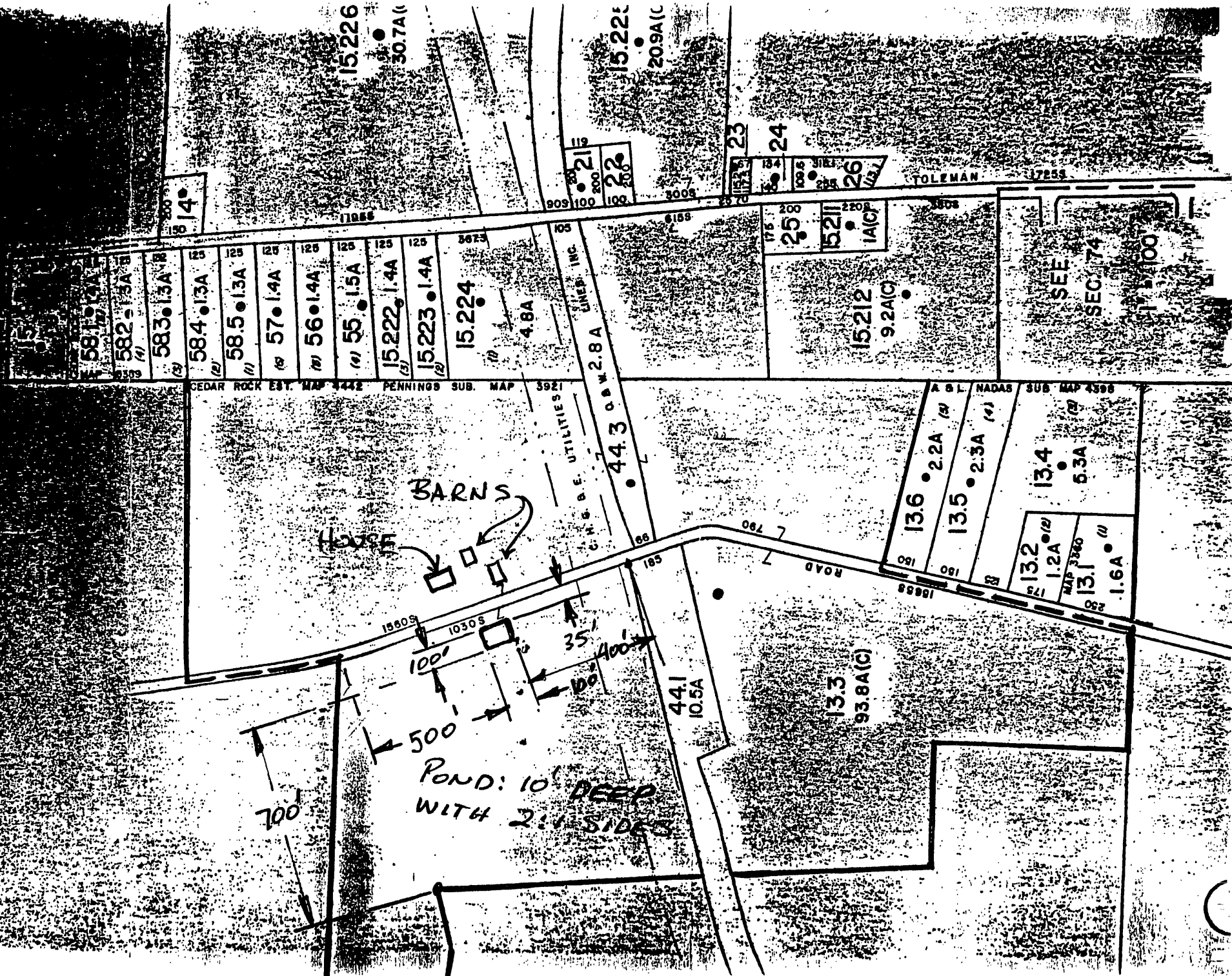
Meanwhile, if you have any further questions, please do not
hesitate to call me.

Yours very truly,

PATRICIA DELIO, Secretary
New Windsor Zoning Board of Appeals

/pd

cc: Patrick Kennedy, Bldg/Zoning Inspector
Town Planning Board



**PREVIOUS
DOCUMENT
IN POOR
ORIGINAL
CONDITION**

6/13 - Public Hearing - Nadas, Linda

Name:

FLORENCE Badiukiewicz

Address:

Bull Rd - Rock Tavern

3 W

3rd & Log.

R&F = 6/13/83 ZBA meeting

June 7, 1983

Mr. Richard Fenwick, Chairman
Zoning Board of Appeals
Town of New Windsor
555 Union Avenue
New Windsor, New York 12550

Re: Pond on the property of Arthur and Linda Nadas
Bull Road, Rock Tavern, N.Y. 12575

Dear Mr. Fenwick:

The Nadas family has made a pond on their property on Bull Road. The pond, now being landscaped, has certainly been an improvement to this area.

Why is such a fuss being made over this small pond when further on down Bull Road we have Mr. James Weyants possibly toxic waste dump that has been an eyesore to this community for the past fifteen or twenty years? The New Windsor officials have always promised to do something about cleaning up this place but nothing is ever done about this possible health hazzard. There is more junk being added all the time.

Does it not seem silly to penalize a person for trying to bring some beauty into the area that is surrounded by possibly dangerous toxic waste dumps and sludge lagoons on the nearby airport property?

Very truly yours,

Alma Tuthill
Alma Tuthill

P.O. Box 172

Washingtonville, N.Y. 10992

RECEIVED
ATTORNEYS OFFICE
TOWN OF NEW WINDSOR

JUN 9 1983

BY: *Gabriel Delio*

R&F 6/13/83 ZBA meeting

June 6, 1983

Richard Fenwick, Chairman
Zoning Board of Appeals
Town of New Windsor
555 Union Ave.
New Windsor, NY 12550

Dear Mr. Fenwick

This letter is in reference to the farm pond built on the Nadas property on Bull Rd.

As residents of Bull Rd. for the past ten years and natives of Orange County, we are pleased when someone makes an improvement to their property. We feel that the addition of this farm pond to the area is beneficial not only aesthetically, but has benefited wild life in the area as is evidenced by the number of wild ducks we see availing themselves of this pond.

We feel, also, that the Town of New Windsor zoning board should be concerned with the zoning problems in the area such as three separate trailers on a lot zoned for one trailer and junk cars parked along the road at a junk yard that residents asked to have fenced in, as required by zoning law.

Once again let us stress our satisfaction with the farm pond on the Nadas property; and it is our hope that more people in the area will improve their properties as the Nadases have done.

Sincerely

Richard A. Jones
Betty Lou H. Jones

Richard A. Jones
Betty Lou H. Jones

RECEIVED
ATTORNEY'S OFFICE
TOWN OF NEW WINDSOR

JUN 9 1983

BY: *Patricia Delio*

RAF - 6/13/83 ZBA
meeting

Washingtonville, N. Y.

March 22nd, 1983

File
83-10

Town of New Windsor

Zoning and Planning Dept.

555 Union Ave. New Windsor, N.Y. 12550

Gentlemen:

It is hard to believe that the Zoning Board is making such a fuss over the innocent little lily pond by the road on the Nadas family property on the Bull Road. Instead of looking at a lot of over grown brush they have made a little pond which adds a bit of beauty which is sorely needed on the Bull Road.

For years we have tried to have something done with the Weygant junk yard on Bull Road to no avail - it just grows worse day by day - a disgrace to any community. There is a town law on the books that says junk yards must be fenced in with high fence but nothing is done, WHY? We have to ride by this mess every day. Also the James Weygant dump site is also on the suspected hazardous waste list - see "The Times Herald Record" of January 9th, 1983.

Which would you rather live alongside - the pretty little pond or the Weygant junk yard?

Think about it gentlemen and stop giving the Nadas family such a hard time.

Respectfully

Mrs. Kenneth M. Shaw

Shaw Road - Washingtonville, N. Y.

RECEIVED
ATTORNEY'S OFFICE
TOWN OF NEW WINDSOR

MAR 25 1983

BY: *Patricia Delis*



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

*23 on list
(22 net rec'd.)
1 uncl.* March 7, 1983

Mr. & Mrs. Arthur Nadas
Bull Road
Rock Tavern, New York 12575

RE: 52-1-13.3

Dear Mr. & Mrs. Nadas:

According to my records the attached list of property owners are within five hundred (500) feet of the above mentioned property.

The charge for this service is \$30.00. Please remit same to the Town Clerk, Town of New Windsor.

Very truly yours,

PAULA SARVIS
Sole Assessor
Town of New Windsor



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

22

Anderson, Raymond ✓
Bull Road
Rock Tavern, New York 11275

Hinck, Albert; Stout, Vance V.
C/O Hinck
Box 183 Bull Road ✓
Rock Tavern, New York 12575

Morse, Ardley F. (returned unclaimed)
Bull Road
Rock Tavern, New York 12575

Badiukiewicz, Theodore & Florence
Bull Road ✓
Washingtonville, New York 10992

Markarian, Krikor ✓
Box 20 Route 207 ✓
Rock Tavern, New York 12575

Roosje, Gertrude ✓
Box 34 Toleman Road
Rock Tavern, New York 12575

Van Leeuwen Henry P.
Pennings, Henry Q. ✓
Fiedelholtz, Gerald
70 Windsor Highway
New Windsor, New York 12550

Illgner, Gisela ✓
1212 Punahou Street 3602
Honolulu Hawaii 96826

Nap. Patricia ✓
C/O Elaine Dominquez
8 Barrett Road West
Monroe, New York 10950

Hall, Henry & Margaret ✓
Route 94 Salisbury Mills, N.Y.
12577



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

Hennessey, Robert & Wally ✓
Beattie Road
Rock Tavern, New York 12575

Kane, Robert P. & Susan J. ✓
Toleman Road
Rock Tavern, New York 12575

Langen, Edward & Patricia ✓
26 Tower Hill Road
Washingtonville, New York 10992

Spatafora, Joseph & Frances ✓
P.O. Box 193
Salisbury Mills, New York 12577

Ovsak, Steven & Elaine ✓
PO Box 27
Salisbury Mills, N.Y. 12577

Diliberto, Stephen S. & Ruth ✓
Vance Drive
Salisbury Mills, New York 12577

Terry, Tyree & Geneva ✓
Bull Road
Rock Tavern, New York 12575

Schultz, Michael P. ✓
319-7th Street
Palisades Park New Jersey 07650

Sheafe, Wayland & Joyce ✓
Route 207
Rock Tavern, New York 12575

Natale, Joseph M. & Kum-Cha ✓
Little Brook Court
Rock Tavern, New York 12575

Rubin, Mark & Barbara ✓
Little Brook Court
Rock Tavern, New York 12575



1763

TOWN OF NEW WINDSOR.

555 UNION AVENUE
NEW WINDSOR, NEW YORK

Berkman, Charles & Adele ✓
Little Brook Court
Rock Tavern, New York 12575

Di Donato, Diamond & Emily G. ✓
Little Brook Court
Rock Tavern, New York 12575

Prelim 1/10/83.

7:30 p.m.

TOWN OF NEW WINDSOR
ORANGE COUNTY, N. Y.
OFFICE OF ZONING - BUILDING INSPECTOR

Matter Tabled
to 1/24/83
meeting.

NOTICE OF DISAPPROVAL OF BUILDING PERMIT APPLICATION

File No.

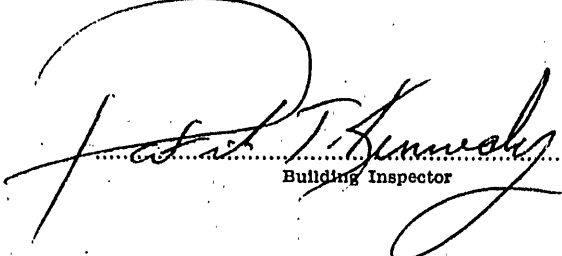
Date December 15, 19 82

To Ms. Linda Nadas 496-3003
Bull Road
Rock Tavern, N.Y. 12575

PLEASE TAKE NOTICE that your application dated December 15, 19 82
for permit to Construct a Pond (already there)
at the premises located at west side of Bull Road

is returned herewith and disapproved on the following grounds:

in violation of setbacks (area variance
needed)


Building Inspector

PUBLIC NOTICE OF HEARING BEFORE
ZONING BOARD OF APPEALS
TOWN OF NEW WINDSOR

PLEASE TAKE NOTICE that the Zoning Board of Appeals of the TOWN OF NEW WINDSOR, New York will hold a Public Hearing pursuant to Section 48-34A of the Zoning Ordinance on the following proposition:

Appeal No. 10

Request of LINDA NADAS

for a VARIANCE ~~SPECIAL PERMIT~~ of
the regulations of the Zoning Ordinance to
permit a farm pond with insufficient front-
yard

being a VARIANCE ~~SPECIAL PERMIT~~ of
Section 48-12 - Table of Bulk Regs.-Col. 6
for property situated as follows:

Bull Road, Town of New Windsor, N. Y.

SAID HEARING will take place on the 13th day of
June, 1983, at the New Windsor Town Hall,
555 Union Avenue, New Windsor, N. Y. beginning at
7:30 o'clock P. M.

RICHARD FENWICK
Chairman



Cornell University
State University of New York
U.S. Department of Agriculture

Cooperative Extension Association of
Orange County
239 Wisner Avenue, Middletown, NY 10940

Agriculture
914-343-1105

Home Economics
914-343-5979

4-H
914-343-6222

January 25, 1983

New Windsor Zoning Board of Appeals
Union Avenue
New Windsor, N.Y. 12551

To Whom It May Concern:

The land owned by Linda Nada, Bull Road, Rock Tavern, N.Y. is in an agricultural district established by law by the State of N.Y. This is a farm that has beef cattle and other livestock to utilize the land for production purposes. It is my understanding, at the present time, that this farm is being rented by a neighboring farmer and this being the case the land is still being used for agricultural purposes.

It is also my understanding that a pond is located in the area that is classified as wetlands. Farmers are exempt from this law which I am sure the Dept. of Environmental Conservation is well aware of as to how the law applies to productive farmland.

The pond also has a value for wildlife habitat that D.E.C. is interested in.

From a practical standpoint this pond can be used for the watering of livestock and affords a supply of water for fire protection. Although I am sure no one hopes that it will ever be used for this purpose.

If you have any questions about this either Malcolm Henning of Soil Conservation Service in Orange County or I would be glad to furnish you information regarding the problem.

Hope you can come to a reasonable decision on this problem.

RECEIVED
TOWN OF NEW WINDSOR

JAN 28 1983

BY Patricia Delis

WSP:abj

cc:Linda Nada

Sincerely yours,

William S. Pendergast
William S. Pendergast
Cooperative Extension Agent

RECEIVED
ATTORNEYS OFFICE
COUNCIL OF NEW WINDSOR
JAN 28 1983
BY: Patricia Delis

Nadas, Linda

strontic

841

study

Scotland.] *Mineral*. Native strontium carbonate, SrCO_3 , in various forms and colors.

strontium (strōn'zhūm; -tūm), *n.* [NL. See STRONTIANITE.] *Chem.* A bivalent element, an alkaline-earth metal, occurring naturally only in combination. Symbol, *Sr*; at. no. 38; at. wt., 87.63. Strontium compounds color a flame crimson, and some are used in fireworks. — *strontic* (-tik), *adj.*

strook (strōk), *v. t.* Obs. past part. of **STRIKE**.

strop (strōp), *n.* [See STRAP.] A strap; specif., a strap for sharpening a razor. *v. t.*; **STROPPED** (strōp); **STROPPING**. To sharpen, as a razor, on a strop.

strophanthin (strō-fān'thin), *n.* [*Strophanthus*, type genus (Gr. *strophē* a turning + *anthos* flower).] A bitter, poisonous glucoside extracted from certain tropical plants of the apocynaceous genus *Strophanthus*, used as a cardiac stimulant.

strophe (strōf), *n.* [Gr. *strophē*, lit., a turning; akin to Gr. *strephō* to twist, turn.] 1. In the Greek choral dance, the movement of the chorus while turning from one side to the other of the orchestra. 2. *Pros.* A the strain, or part of the choral ode, sung during the strophe (sense 1). *b* A stanza. — **strophic** (strōf'ik; strōf'ik), *adj.*

strophilus (strōf'ū-lūs), *n.* [NL, dim. fr. Gr. *strophos* a twisted band or cord.] *Med.* A form of miliaria, of several varieties, occurring esp. in infants.

stroud (strōd), *n.* [Appar. fr. *Stroud*, Eng.] A coarse blanket or garment formerly used in trading with some North American Indians.

strove (strōv), *past & rare past part.* of **STRIVE**.

strow (strō), *v. t.*; **STROWED** (strōd); **STROWN** (strōn) or **STROWED**; **STROWING**. *Archaic*. To strew.

stroy (strōi), *v. t. & i.* *Archaic*. To destroy.

struck (strūk), *past & past part.* of **STRIKE**.

struck, *adj.* Closed or affected by a labor strike.

struck'en (strūk'en; strōk'en), *Obs.* past part. of **STRIKE**.

struck jury. *Law*. A special jury of 12 members selected from 48, these being reduced to 24 by the attorney for each side striking out the names of twelve. The jury is then chosen by the ordinary methods.

struck measure. A measure, as of grain, leveled off.

struck-tur-al (strūk'tūr-əl), *adj.* 1. Of or pertaining to structure or a structure. 2. Involved in, or caused by, structure, esp. the economic structure; as, modern *structural* unemployment. 3. *Biol.* Of or pertaining to organic structure; as, a *structural* element. 4. *Geol.* Of, pertaining to, or resulting from the effects of folding or faulting of the earth's crust; *tectonic*. — **struck-tur-al-ly**, *adv.*

structural formula. See FORMULA.

structural iron, steel. *Engin. & Arch.* Iron or steel made in shapes best adapted for structural uses, such as I-shaped and T-shaped beams.

struck-ture (strūk'tūr), *n.* [L. *structura*, fr. *struere*, to arrange, construct.] 1. Manner of building; form; construction. 2. Something constructed or built, as a building, a dam, a bridge. 3. Arrangement of parts, of organs, or of constituent tissues or particles, in a substance or body. 4. Figuratively, the interrelation of parts as dominated by the general character of the whole; as, the *structure* of society.

strudel (strōd'el; strōd'-), *n.* [G.] A dessert of pastry made by rolling and baking a paper-thin sheet of dough spread with a filling, usually of fruit.

struggle (strūgl), *v. i.*; **-GLED** (-'līd); **-GLING** (-'līng). [ME. *stroglēn*, *struglen*.] To put forth hard efforts; to labor hard; to strive; contend. — *v. t.* 1. To effect, accomplish or dispose of, in some specified way, by struggling. 2. *Rare*. To struggle over. — *Syn.* See **ATTEMPT**. — *n.* 1. A violent effort or exertion. 2. Contest; strife. — **strug-gler** (-'glēr), *n.* — **strug-gling-ly**, *adv.*

strum (strūm), *v. t. & i.*; **STRUMMED** (strūmd); **STRUMMING**. [Imitative.] To play on, or as on, a stringed musical instrument unskillfully, idly, or noisily; thrum. — *n.* Act or sound of strumming. — **strum-mer**, *n.*

struma (strōm'mā), *n.*; *pl.* -MAE (-mē). [L., a scrofulous tumor.] 1. *Med.* A scrofula. 2. *Bot.* A cushionlike swelling, as at the base of the capsule in many mosses. — **strum-a-tic** (strōm'mā'tik), *stru-mose (strōm'mōs; strōm-mōs'), **stru-minous** (strōm'mūs), *adj.**

strumpet (strūm'pēt; -plī), *n.* A prostitute; harlot.

strung (strūng), *past & past part.* of **STRING**.

strunt (strūnt; strōnt), *n. & v.* *Scot.* Pique.

strut (strūt), *v. i.*; **STRUTTED** (-'ēd; -'ēd); **STRUTTING**. [ME. *struten*, *strouten*, to swell, fr. AS. *strutan*.] To walk with a lofty, proud gait; to swagger. — *n.* 1. The act of strutting; a pompous step or walk. 2. *Engin., Arch., etc.* Any bar or piece designed to resist pressure, or compressive stress, in the direction of its length. See **QUEEN POST**, **ROOF**, **ILLUSTR.**

strut, v. t. To provide, stiffen, support, or hold apart with or as with a strut or struts.

struthious (strūth'ūs; -'ūs), *adj.* [L. *struthio* ostrich, fr. Gr. *strouthion*.] Of or belonging to an order (Struthionidae) of flightless ratite birds, including chiefly ostriches, emus, and cassowaries; narrowly, of the genus (*Struthio*) including the African ostriches.

strut'er (strūt'ēr), *n.* One who struts.

strutting, *adj.* That struts. — **strut-ting-ly**, *adv.*

strychnine (strīk'nīn; -'nīn), *n.* [NL.] Obs. Strychnine.

strychnic (-'nīk), *adj.* Of, pertaining to, or produced by strychnine; as, *strychnic* poisoning.

strychnine (strīk'nīn; -'nīn; -'nīn), *n.* [F. *strychnine*, fr. L. *strychnos* a kind of nightshade, fr. Gr. *strychnos*.] *Chem.* A poisonous alkaloid, $\text{C}_{15}\text{H}_{21}\text{N}_3\text{O}_8$, obtained from various plants of the genus *Strychnos* (see **STRYCHNOS**), as *vou vomica*. It is used as a tonic and stimulant for the central nervous system.

strychnism (-'nīn-iz'm), *n.* *Med.* Morbid condition produced by the excessive use of strychnine.

strychnos (strīk'nōs), *n.* [NL. See **STRYCHNINE**.] Any of a genus (*Strychnos*) of tropical trees and woody vines (family Loganiaceae). Many species yield valuable drugs. See **BRUCINE**, **CURARE**, **STRYCHNINE**.

Stewart (stū'ert), *n.* Also **Stew'art**. A member of a royal family in Scotland and England. Robert II was the first king of Scotland of this family (1370). In 1603 James VI of Scotland became James I of England, and Charles I, Charles II, and James II were other reigning members of this house in Great Britain.

stub (stüb), *n.* [AS. *stubb*, *stybb*.] 1. The stump of a tree. 2. The

short blunt part of anything after the larger part has been broken off or used up; as, the *stub* of a pencil. 3. In a checkbook, etc., a small part of each leaf attached to the back for memoranda of the contents of the part torn away; also, any similar counterfoil, as the coupon of a theater ticket. 4. Something short, blunt, etc.; specif.: a pen with a short, blunt nib. *b* A stub nail. — *v. t.*; **STUBBED** (stübd); **STUBBING**. 1. To grub up by the roots, as weeds. 2. To remove stubs from; as, to *stub* land. 3. To strike, as one's foot, against a stub, a stone, or other object.

stub, *adj.* Stocky; thickset; squat.

stub'bed (stüb'ēd; -'ēd; stübd), *adj.* 1. Reduced to, or resembling, a stub; short and blunt. 2. Abounding in stubs. 3. Hardy; rugged.

stub'bed-ness, *n.*

stub'ble (stüb'bl; -'bl), *n.* [OF. *estouble*, *estuble*, fr. LL. for L. *stipula* stubble, stalk.] 1. The stumps of wheat, corn, or other grain left in the ground, as after reaping. 2. A rough surface or growth resembling stubble. — **stub'bled** (-'ēd), *adj.* — **stub'bly** (-'lē), *adj.*

stub'born (stüb'ēr'n), *adj.* [ME. *stoburn*, *stiborn*, prob. fr. AS. *stubb*, *stybb*, a stub.] 1. *Obs.* Sturdy. 2. Fixed, resolute, or unyielding; esp., obstinate. 3. Performed or carried on in an unyielding, obstinate, or persistent manner; as, *stubborn* strife. 4. Difficult to handle, manage, or treat; refractory; as, a *stubborn* ore. — *Syn.* See **OBSTINATE**. — **stub'born-ly**, *adv.* — **stub'born-ness**, *n.*

stub'by (stüb'ē), *adj.*; **stubb'ness** (-'ēn); **stubb'ness**, *n.* Abounding with stubs. 2. Short, thick, and stiff, as bristles. 3. Stocky; thickset.

stub nail. An old horseshoe nail; a nail broken off; also, a short thick nail.

stucco (stük'ō), *n.*; *pl.* -COES, -COES (-ōz). [It., of Teut. origin.] A plastic material used to form a hard covering for exterior walls; esp., a fine plaster used for interior decorations and fine work; hence, stucco-work. In modern building, stucco is generally cement stucco, made of portland cement, sand, and, commonly, a small percentage of lime. — *v. t.* To decorate with stucco; to coat with stucco. — **stucco-er** (-ō-ēr), *n.*

stucco-work (-wōrk'), *n.* Work done in stucco.

stuck (stük), *past & past part.* of **STICK**.

stuck-up (-'up'), *adj.* *Colloq.* Self-important and supercilious; conceited; snobbishly aloof. — **stuck-up-ness**, *n.*

stud (stüd), *n.* [AS. *stōd*.] 1. A collection of horses, kept primarily for breeding. 2. The place where such a collection of horses is kept. 3. A studhorse; also, any male animal kept for breeding. — *at stud*. Available for breeding; — of a male animal.

— *adj.* a Kept for breeding; as, a *stud* mare. *b* Of, pert. to, or connected with a stud.

stud, n. [AS. *studu* a post.] 1. A kind of nail with a large head, used chiefly for ornament; an ornamental knob; boss. 2. A detachable buttonlike device to be inserted through buttonholes or eyelets and serve as a fastener, for ornament, etc. 3. An iron brace across the link of a chain cable. 4. *Building*. A scantling; esp., one of the uprights in lath-and-plaster partitions and in furring, upon which the laths are nailed or to which boards are nailed in frame buildings. 5. *Cards*. Short for *stud poker* (see **POKER**). 6. *Mach.* A short rod or pin, projecting from something, and sometimes forming a journal. — *v. t.*; **STUDDED**; **STUDDING**. 1. To supply with studs, or props, as supports; as, a *low-studded* room. 2. To adorn with or as with a stud, studs, or knobs. 3. To set with detached ornaments or prominent objects; as, a plain *studded* with furs.

stud'book (-'bōk'), *n.* Also **stud book**. A registry of the pedigrees and performances of horses.

stud'dle (stüd'ld; stüd'ld), *Scot. & dial. var.* of **STITHV**.

stud'ding (stüd'ing), *n.* Material for studs or joists; studs or joists, collectively; scantling.

stud'ding sail (stūn's'l or, esp. as a literary term, stüd'ing sāl), *Naut.* A light sail set at the side of a principal square sail of a vessel in free winds. See **SAIL**, **ILLUSTR.**

stud'ent (stū'dēnt; -'lā), *n.* [L. *studens*, -entis, pres. part. of *studere* to study, fr. *studeo*; akin to *studeo*, to learn; scholar; one who attends a school. 2. One who studies; an attentive and systematic observer; as, a *student* of life. — *Syn.* See **SCHOLAR**.

student lamp. An adjustable reading lamp.

stu'dent-ship, *n.* 1. State of being a student. 2. Chiefly *Brit.* A scholarship or fellowship.

stud'horse (stüd'hōrs'), *n.* A stallion, esp. one kept for breeding.

stud'ied (stüd'ēd), *adj.* 1. Made the subject of study. 2. *Rare*. Qualified by study; learned. 3. Premeditated; planned; designed; as, a *studied* insult. — **stud'ied-ly**, *adv.* — **stud'ied-ness**, *n.*

stu'di-o (stū'dē-ō), *n.*; *pl.* -DIOS (-ōz). [It., prop., study.] 1. The working room of a painter, sculptor, etc. 2. A place where motion pictures are made. 3. *Radio & Television*. A room or series of rooms maintained by a transmitting station and equipped for the transmission of programs. — **stu'di-o**, *adj.*

studio couch. An upholstered backless couch that can be made to serve as a double bed by sliding from underneath it the frame of a single cot; — distinguished from *daya bed*.

stu'di-ous (stūd'ē-ūs), *adj.* 1. Given to or pursuing study. 2. Diligent in attention; carefully earnest. 3. *Rare*. Planned; deliberate; studied. 4. *Poetic*. Favorable to study. — **stu'di-ous-ly**, *adv.* — **stu'di-ous-ness**, *n.*

stud poker. See **POKER**.

stud'work (stüd'wōrk'), *n.* Work supported, strengthened, held together, or ornamented by studs.

stud'y (stū'dē), *n.*; *pl.* -STUDIES (-'ēz). [OF. *estudie*, fr. L. *studium*.] 1. Application of the mind to books, arts, or any subject, for acquiring knowledge. 2. Act or process of acquiring by one's own efforts knowledge of a subject. 3. Any branch of learning that is studied; any object of attentive consideration. 4. Earnest and reasoned effort, desire, or thought; as, his *study* is to do right. 5. Mental absorption; profound thought or meditation; as, he was in a *study* of the house. 6. A building or room devoted to study or literary work; hence, any private room reserved for the use of the master of the house. 7. In the fine arts and in literature, a rendering of any object or scene, primarily intended only for the information, instruction, or assistance of the maker; as, a *study* of heads for a figure picture. Also, a rendering of anything made as a result of careful investigation; as, a *study* in New England types. 8. *Music*. A piece for special practice; an étude. — *Syn.* See **ATTENTION**. — *v. t.*; **STUDIED** (-'ēd); **STUDYING**.

1. To apply the mind to books or learning. 2. To fix the mind closely upon a subject; also, to ponder; meditate. 3. To endeavor

Earthfill Dams

H. G. ARTHUR¹

A. INTRODUCTION

118. Origin and Development.—Earthfill dams for the storage of water for irrigation, as attested both by history and the surviving remnants of ancient structures, have been used since the early days of civilization. Some of the structures built in antiquity were of considerable size. One earthfill dam 11 miles long, 70 feet high, and containing about 17 million cubic yards of embankment was completed in Ceylon in the year 504 B.C. [1].² Today, as in the past, the earthfill dam continues to be the most common type of small dam, principally because its construction involves utilization of materials in their natural state with a minimum of processing.

Until modern times all earthfill dams were designed by empirical methods, and engineering literature is replete with accounts of failures [2]. These failures compelled the realization that empirical methods must be replaced by rational engineering procedures in both design and construction. One of the first to suggest that the slopes for earthfill dams be selected on that basis was Bassell in 1907 [3]. However, little progress was made on the development of rational design procedures until the 1930's. The rapid advancement of the science of soil mechanics since that time has resulted in the development of greatly improved procedures for the design of earthfill dams. These procedures include (1) thorough preconstruction investigations of foundation conditions and materials of construction; (2) application of engineering skill and technique to design; and (3) carefully planned and controlled methods of construction.

As a result, earthfill dams are now (1958) being constructed to heights exceeding 500 feet above their foundations; and hundreds of large rolled earthfill dams have been constructed in the past 20 years without a single recorded failure. Failures of small earthfill dams, however, continue to be commonplace. Though some of these failures likely are a result of improper design, many of them are caused by lack of care in construction. Proper construction methods include adequate foundation preparation and the placement of materials in the dam embankment with the necessary degree of compaction under an established procedure of testing and control.

The design of an earthfill dam must be realistic. It should reflect the actual foundation conditions at the site and the available materials for embankment construction, and not merely be patterned after a successful design used at a site with dissimilar conditions.

119. Scope of Discussion.—This discussion is limited to design procedures for small earthfill dams which are of the rolled-fill type of construction, as defined in section 120. This type of construction is now being used almost entirely for the construction of small dams to the exclusion of semihydraulic and hydraulic fills.

For the purpose of this discussion a "small" dam is one whose maximum height above the lowest point in the original streambed does not exceed 50 feet, and whose volume is not of such magnitude that significant economies can be obtained by utilizing the more precise methods of designs usually reserved for large dams. A low dam cannot be considered small if its volume exceeds say, 1 million cubic yards. Figures 92 and

¹ Engineer, Earth Dams Section, Bureau of Reclamation.

² Numbers in brackets refer to items in the bibliography, sec. 143.

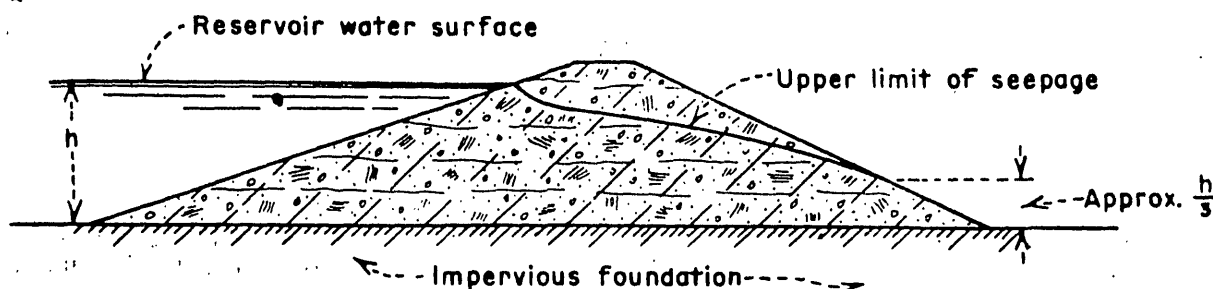


Figure 95. Completely homogeneous dam.

to permit much steeper slopes. The effect of drainage at the downstream toe of the embankment is shown in figure 96.

Rock toes of appreciable size may be provided for drainage, as shown in figure 96(A), or, if suitably graded materials are available, the filter drain shown in figure 96(B) may be used. Another method of providing drainage which has been used is the installation of pipe drains. These are recommended for small dams only when used in conjunction with filter drains or pervious zones. Reliance should not be placed solely upon pipe drains because of the possibility of the pipe becoming clogged as the result of improper filters, root growth, or deterioration.

Because the modification of the homogeneous type of section by means of drainage furnishes a greatly improved design, the fully homogeneous section should not be used for storage dams; drainage should always be provided when a reservoir pool will be maintained for an appreciable length of time. A homogeneous (or modified-homogeneous) type of dam is applicable in localities where readily available soils show little variation in permeability and soils of contrasting permeabilities are available only in minor amounts or at considerably greater cost.

(d) *Zoned Embankment Type*.—The most common type of a rolled earthfill dam section is that in which a central impervious core is flanked by zones of materials considerably more pervious. The pervious zones enclose, support, and protect the impervious core; the upstream pervious zone affords stability against rapid draw-down; and the downstream pervious zone acts as a drain to control the line of seepage. For most effective control of through seepage and drawdown seepage, the section should show, to the extent feasible, a progressive increase in permeability from the center out toward each slope.

The pervious zones may consist of sand, gravel, cobbles, or rock, or mixtures of these materials. For purposes of this text, the dam is considered to be a zoned embankment if the horizontal width of the impervious zone at any elevation equals or exceeds the height of embankment above that elevation in the dam, and is not less than 10 feet. The maximum width of the impervious zone will be controlled by stability and seepage criteria and by the availability of material. A dam with an

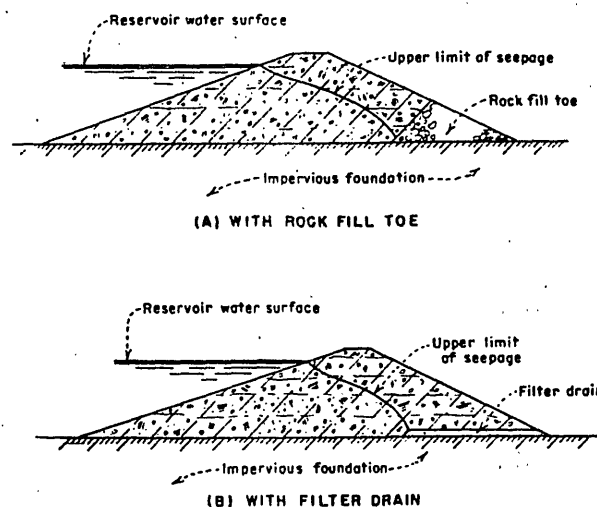


Figure 96. Modified homogeneous dam.

impervious core of moderate width composed of strong material and with pervious outer shells may have relatively steep outer slopes, limited only by the strength of the foundation, the stability of the embankment itself, and maintenance considerations. Conditions that tend to increase stability may be decisive in the choice of a section even if a longer haul is necessary to obtain required embankment materials.

It may be said that if a variety of soils are readily

DAMS-EARTH DAM SECTIONS

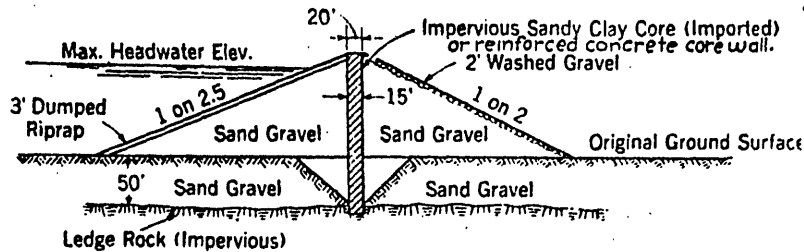


FIG. A - DESIGN FOR SITE WHERE ONLY SAND IS AVAILABLE - FOUNDATION IS PERVIOUS FOR 50 FOOT DEPTH.*

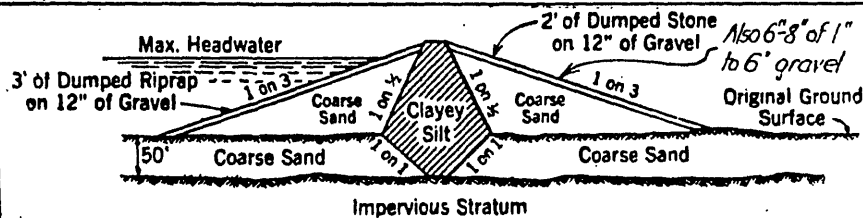


FIG. B - DESIGN FOR SITE WHERE CLAYEY SILT & COARSE SAND ARE AVAILABLE - FOUNDATION SAME AS FOR FIG. A.*

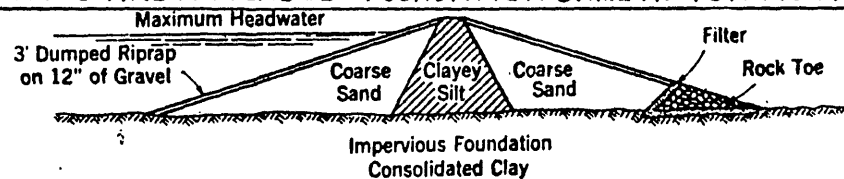


FIG. C - DESIGN FOR SITE WHERE CLAYEY SILT & COARSE SAND ARE AVAILABLE - FOUNDATION IS IMPERVIOUS MATERIAL.*

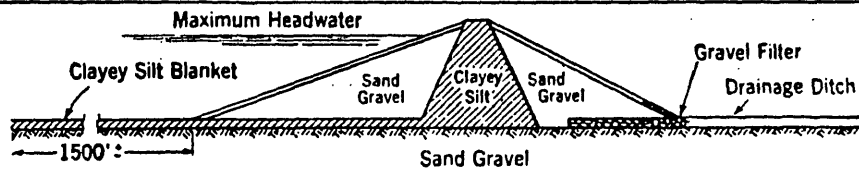


FIG. D - DESIGN FOR SITE WHERE CLAYEY SILT & COARSE SAND ARE AVAILABLE - FOUNDATION PERVIOUS TO GREAT DEPTH.*

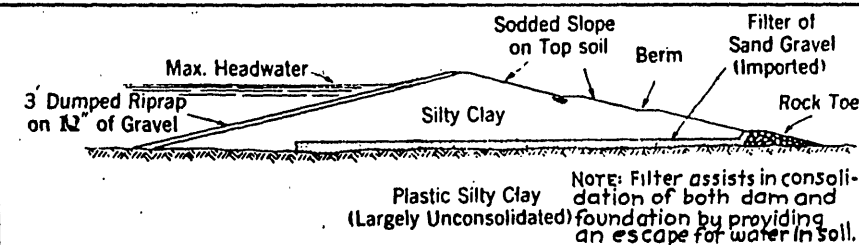


FIG. E - DESIGN FOR SITE WHERE ONLY SILTY CLAY IS AVAILABLE - FOUNDATION IS UNCONSOLIDATED SILTY CLAY (PLASTIC).*

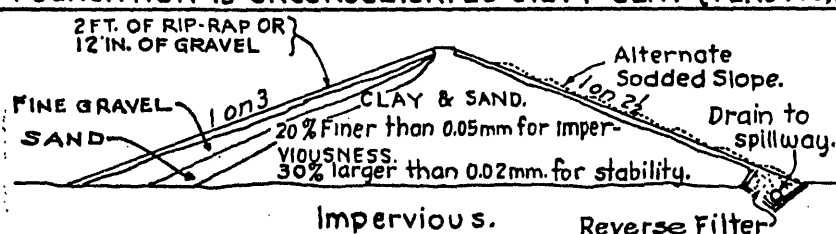


FIG. F - DESIGN FOR SITE WHERE CLAY & SAND ARE AVAILABLE - FOUNDATION REASONABLY IMPERVIOUS.†

See Pg. 9-16, 9-31 to 9-34 & 16-0 for additional data.

REMARKS ON SECTIONS.

Compaction should be made to maximum density at optimum moisture.

Impervious sections and coarse sections should be within the limits given in Fig. A, Pg. 16-05

Shear across dam sections should be checked by scientific investigation, but the sections shown should give adequate safety factor for the materials noted.

Earth dams require separate overflow structures, as water overtopping dam will destroy it.

Foundations should never be on peat or vegetable loam.

Compact in 6" layers with power equipment and sheepfoot rollers.

Sheepfoot rollers should be used to reduce moisture and aid compaction.

Rip-rap with fine gravel & sand on upstream surface to protect against wave action and provide a reverse filter in case of sudden draw down.

Coarse sand - 85% size > 0.85. Check soft foundation assumptions by Elastic Theory, Pg. 9-31.

* Adapted from Engineering for Dams by Justin, Hinds & Creager. † by Author.

TABLE OF USE REGULATIONS

A Uses Permitted by Right	B Uses by Special Permit of Board of Appeals	C Permitted Accessory Uses	D Permitted Accessory Signs	E Minimum Off-Street Parking	F Minimum Off-Street Loading Berths	G Additional Use Regulations Applying in All Districts
<p>1. The following commercial agriculture operations and accessory uses thereto, provided that there shall be no stable or similar animal housing nor storage of manure or other odor or dust-producing substance or use, except spraying and dusting to protect vegetation, within 50 feet of any lot line:</p> <p>(a) Raising of field and garden crops, vineyard and orchard farming and the maintenance of nurseries.</p> <p>(b) Keeping, breeding and raising of cattle (including dairies), sheep, goats, pigs and horses and rental of horses, on lots of 20 acres or more.</p> <p>(c) Keeping, breeding and raising of fowl on lots of 5 acres or more.</p> <p>2. Buildings, structures and uses owned and operated by the Town of New Windsor.</p> <p>3. Public parks and playgrounds.</p> <p>4. Commercial forestry.</p> <p>5. Outdoor recreational facilities, including golf courses, ice skating rinks, swimming pools, parks, playgrounds and ski areas, subject to § 48-21A.</p>	<p>1. One-family detached dwellings, not to exceed 1 dwelling on each lot.</p> <p>2. Annual membership clubs providing outdoor recreation facilities, subject to § 48-21A.</p> <p>3. Other annual membership clubs.</p> <p>4. Railroad, public utility, radio and television transmission antennas and rights-of-way.</p> <p>5. Summer colonies and vacation camps, subject to § 48-21B.</p> <p>6. Airports and heliports, subject to § 48-21C.</p> <p>7. Sandpits, gravel pits, removal of topsoil and excavations of natural resources, subject to § 48-21D.</p> <p>8. Cemeteries on plots of 10 acres or more.</p> <p>9. Commercial dog or veterinary kennel, subject to § 48-21E.</p> <p>10. Accessory to use in Col. A, No. 1: one-story buildings for display and sale of agricultural and nursery products grown primarily on the premises, provided that any such building does not exceed 1,000 square feet in floor area and is set back 30 feet from any lot line.</p> <p>11. Reservoirs on plots of 3 acres or more.</p>	<p>1. Accessory parking</p> <p>2. Accessory loading</p> <p>3. Accessory signs</p> <p>4. Accessory to use in Col. A, No. 1: barns, silos and produce storage and parking warehouses, provided that such accessory buildings shall conform to the yard requirements for principal buildings.</p> <p>5. Customary home occupations.</p> <p>6. Garden houses, toolhouses, playhouses and garages, subject to § 48-14.</p> <p>7. Swimming pools, subject to § 48-21G.</p> <p>8. Private garages accessory to the principal use of the lot.</p> <p>9. Keeping domestic animals as follows: not more than a total of 3 cats or dogs over 1 year old, not more than 2 horses over 8 months old, not more than 10 fowl and not more than 2 of any other species of domestic animals, excluding, however, all pigs and cattle. No domestic animal, except dogs and cats, shall be maintained within 15 feet of any plot line.</p> <p>10. Private kennel.</p>	<p>1. Accessory to permitted residences: 1 nonilluminated nameplate or professional sign with an area of not over 2 square feet.</p> <p>2. For any nonresidential establishment permitted: 1 indirectly illuminated sign not over 10 square feet in area, at least 25 feet from the street line; and not more than 2 nonilluminated directional signs, each not over 2 square feet in sign area, provided that such signs are set back at least 10 feet from the street line.</p> <p>3. For any structure for sale or for rent: 1 temporary nonilluminated "for sale" or "for rent" sign not over 6 square feet in area located at least 15 feet from the street line. Such temporary use shall cease within 30 days after sale or rental is consummated. Signs for any other advertising purpose pertaining to the premises of the building shall be permitted, but shall not exceed 6 square feet in area nor be displayed for a period longer than 30 consecutive days.</p> <p>4. Refer to § 48-18 for supplementary sign regulations.</p> <p>5. Refer to § 48-27.</p>	<p>1. Single-family dwellings: 2 spaces per dwelling with full turnaround area.</p> <p>2. Outdoor recreation areas: 1 parking space for each 5 persons for which designed, but not less than 4 spaces per acre.</p> <p>3. Boat docks, marinas, clubhouses: 1 space for each 3 persons for which seating is provided.</p> <p>4. Boat ramps: 1 space for each member.</p> <p>5. Golf course and clubs: 10 parking spaces for each tee.</p> <p>6. Skating areas: 1 parking space for every 10 persons of practical lift capacity.</p> <p>7. Annual membership clubs: 1 space for each 100 square feet of floor area occupied by all principal or accessory structures except those used for parking purposes, or 1 space for each 15 members.</p> <p>8. Buildings or open stands for the display and sale of agricultural products: 1 space for 5 feet of front wall of such stand or 300 square feet of floor space, whichever is greater.</p> <p>9. Vacation campgrounds and summer colonies: 1 space for each unimproved campsite and 1 space for each 5 improved campsite.</p> <p>10. Cemeteries: off-street standing area to accommodate 50 automobiles.</p> <p>11. Uses Col. B, No. 4: 1 space for each on-site employee.</p> <p>12. Home occupation: 3 spaces in addition to No. 1 above or as determined by the Planning Board based on anticipated usage. There shall be provided sufficient parking to accommodate all prospective patrons for all but the 10 highest hours of usage each year.</p>	<p>1. For any use in Col. A and B: 1 loading berth for any building or structure exceeding 10,000 square feet.</p>	<p>1. Screening requirements: All nonresidential uses, adjoining, abutting or within 300 feet of a residential zone or use shall provide appropriate screening and/or plantings on the side or sides facing said residential use or zone. In granting any site plan approval, the Planning Board shall require such screenings and/or plantings as will sufficiently insulate the residential from the nonresidential uses.</p> <p>2. Agricultural uses: Agricultural uses, including customary farm occupations, shall be subject to the following conditions:</p> <p>A. Buildings utilized for horticulture, nurseries, greenhouses and for raising and housing agricultural crops, and for any other activity incidental to agricultural activities, shall be permitted, provided that no building is located nearer than 200 feet from any lot line, except residential buildings and greenhouses, which may be located in conformity with the standards for residences within those districts in which they are located.</p> <p>B. The display for sale of products grown or raised by the owner, tenant or lessee shall only be permitted where:</p> <p>(1) No processed products shall be offered for sale.</p> <p>(2) The sale of such products are within the confines of the property upon which they have been grown or raised.</p> <p>(3) The place of sale, whether of a permanent or temporary nature, shall not be closer than 50 feet to any lot line, nor shall the storage of any such products outside a structure be located closer than 50 feet to any lot line.</p> <p>(4) The sale of any such products shall not have a deleterious effect on adjoining properties by reason of nuisance or health hazard.</p> <p>(5) The sale of any such products shall also require that a suitable amount of off-street parking and loading space be provided.</p> <p>(6) Agricultural uses as permitted herein shall restrict the storage and use of manure, dust-producing substances or any use producing odor or dust to no less than 200 feet from any property line.</p> <p>3. Site plan approval. All uses identified by an asterisk (*) are subject to site plan approval by the Planning Board in accordance with § 48-19.</p> <p>4. Garage and off-street parking facilities. Where 1 or more motor or other vehicles recurrently park by reason of the use and occupancy of any premises, there shall be provided and satisfactorily maintained thereon adequate garage or vehicular parking space for the number and in proportion to the size of the vehicles which so park, the minimum to be not less than 200 square feet per automobile in addition to 24 feet of driveway and backing and turning-out space.</p>
<p>1. Same as FP.</p> <p>2. One-family detached dwellings, not to exceed 1 dwelling on each lot, with driveway access on a road shown as other than a local road on the Official Map.</p> <p>3. One-family detached dwellings, not to exceed 1 dwelling on each lot, with driveway access on a road shown as a local road on the Official Map.</p> <p>4. Places of worship, including parish houses.</p> <p>5. Public elementary and high schools operated by the people of the State of New York.</p>	<p>1. Same as FP, Nos. 2 through 11.</p> <p>2. Private schools and colleges and other educational institutions other than trade and technical schools.</p> <p>3. Philanthropic or eleemosynary institutions, hospitals or sanatoriums for general medical care.</p> <p>4. Mobile home courts subject to the Mobile Home Local Law.</p> <p>5. Dormitory accommodations for housing migratory agricultural workers, provided that such premises are constructed in conformance with the New York State Multiple Residence Law and are not occupied for more than 5 months in any calendar year.</p> <p>6. Temporary trailers for housing of farm workers subject to the Mobile Home Local Law.</p>	<p>1. Same as FP.</p> <p>2. Home professional office or studio of architect, artist, chiropractor, dentist, engineer, insurance broker, lawyer, musician, optometrist, osteopath, teacher, surgeon, physician, real estate broker and veterinarian, subject to § 48-21H.</p>	<p>1. Same as FP.</p>	<p>1. Same as FP.</p> <p>2. Home professional office: 5 spaces in addition to FP, No. 1.</p> <p>3. Places of worship: 1 space for each 5 persons' seating capacity.</p> <p>4. Schools: 1 space for each 12 seats for students or 4 seats in an auditorium, whichever is greater.</p> <p>5. Hospitals: 1 space for each 3 beds.</p> <p>6. Mobile homes: refer to the Mobile Home Local Law.</p>	<p>1. Same as FP.</p>	
<p>1. Same as R-1.</p>	<p>1. Same as FP, Nos. 2, 3, 4, 5, 6, 11.</p> <p>2. Same as R-1, Nos. 2, 3.</p>	<p>1. Same as R-1.</p>	<p>1. Same as R-1.</p>	<p>1. Same as R-1.</p>	<p>1. Same as R-1.</p>	
<p>1. Same as R-2.</p>	<p>1. Same as FP, Nos. 2, 3, 4, 5, 11.</p> <p>2. Same as R-1, Nos. 2, 3.</p>	<p>1. Same as R-2.</p>	<p>1. Same as R-2.</p>	<p>1. Same as R-2.</p>	<p>1. Same as R-2.</p>	
<p>1. Same as R-3.</p>	<p>1. Same as R-3.</p>	<p>1. Same as R-3.</p>	<p>1. Same as R-3.</p>	<p>1. Same as R-3.</p>	<p>1. Same as R-3.</p>	
<p>1. Same as R-4.</p> <p>2. Two-family dwellings.</p>	<p>1. Same as R-4.</p>	<p>1. Same as R-4.</p>	<p>1. Same as R-4.</p>	<p>1. Same as R-4.</p> <p>2. Multiple-residence dwellings: 1.5 spaces per each two-bedroom unit or</p>	<p>1. Same as R-4A.</p>	
<p>1. Same as R-4A.</p>	<p>1. Same as R-4A.</p>	<p>1. Same as R-4A.</p>	<p>1. Same as R-4A.</p>	<p>1. Same as R-4A.</p>	<p>1. Same as R-4A.</p>	

INTER-OFFICE CORRESPONDENCE

TO: TOWN BUILDING INSPECTOR KENNEDY
FROM: ZONING BOARD OF APPEALS
SUBJECT: NADAS POND ON BULL ROAD
DATE: January 25, 1983

Regarding the above Order to Remedy Violation dated January 13, 1983 alleging a violation of the Zoning Ordinance Section 48-7A and 48-21D1, and the request for Mrs. Nadas to appear before the Zoning Board of Appeals for a special permit, the Board members, at their January 24, 1983 meeting, declined to take any action. The ZBA members are requesting the following from the Building Inspector:

- (1) Interpretation of the word "excavation" in Section 48-21 D1, and further is this an excavation within the meaning of the statute when referring to the pond in question?
- (2) Is there a slope problem or lateral support problem regarding the pond in question?

The Board meets again on February 14, 1983. Would it be possible for you to attend this meeting, or, in the alternative, may we have a response by letter before this date.

Richard Fenwick, Chairman
Zoning Board of Appeals

/pd

Receipt at rear (no extra fee)
Please detach and return to the Building Department
in 3611 and attach it to the back of the receipt.
This receipt is for the services requested. Check the receipt and present it to the Building Department.
STRICTLY DELIVERED ON THE RECEIPT NUMBER.

Tabled from 1/10/83 - (1)

Building Department 565-8807
~~(CITY OF ORANGE)~~ OF NEW WINDSOR, N. Y. 555 Union Ave.
(Address and Telephone Number)
County of: ORANGE

Order to Remedy Violation

Location: BULL ROAD
Map No.: Section: 52 Block: 1 Lot: 13.3
Date: JANUARY 13 19 83

TO: Ms. Linda Nadas
Bull Road (owner or authorized agent of owner)
Rock Tavern, N. Y. 12575
(address of owner or authorized agent of owner)

PLEASE TAKE NOTICE there exists a violation of:

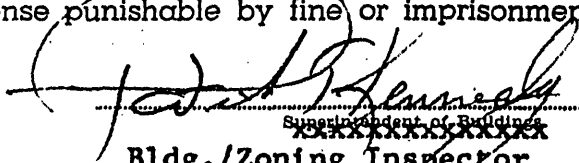
The State Building Construction Code
Zoning Ordinances ☒
Other Applicable Laws, Ordinances or Regulations

at premises hereinafter described in that Excavation of natural resources
(state character of violation)
in R-1 Zone, by special permit only.

in violation of Zoning Ordinance 48-7A, 48-21D1
(state section or paragraph of applicable law, ordinance or regulation)

YOU ARE THEREFORE DIRECTED AND ORDERED to comply with the law and to
remedy the conditions above mentioned forthwith on or before the 24th day of
JANUARY 19 83

Failure to remedy the conditions aforesaid and to comply with the applicable provisions of law may constitute an offense punishable by fine or imprisonment or both.


Bldg./Zoning Inspector

glare and reflection control, solar radiation control, wind control, precipitation control and temperature control.

B. Land area restricted from development coverage by § 48-12, Table of Bulk Regulations, Part II, Column 9, shall be preserved in natural landscape or shall be reestablished according to the following general standard: one (1) deciduous or evergreen tree two and one-half (2½) inches caliper per two thousand (2,000) square feet of area.

C. Developed area shall be landscaped according to the following general standard: one (1) deciduous or evergreen tree per five thousand (5,000) square feet of area; and one (1) low-planting species per ten (10) lineal feet of parcel perimeter.

D. Erosion and sedimentation controls shall be in accordance with Guidelines for Erosion and Sediment Control in Urban Areas of New York State, by the United States Department of Agriculture Soil Conservation Service, which controls shall be the minimum requirements.

E. For uses requiring site development plan review, the construction value of which exceeds fifteen thousand dollars (\$15,000.), a detailed landscaping plan shall be prepared by a licensed landscape architect or other professional licensed by the State of New York Education Department to prepare landscape plans.

F. The publication Plant/People and Environmental Quality, by the United States Department of Interior, National Park Service, is hereby adopted and incorporated as the general reference for landscape materials and uses in the Town of New Windsor.

§ 48-21. Supplemental use regulations.

In addition to the use regulations set forth in Article III, the following specific regulations and standards for uses listed herein shall be the minimum requirements for the protection of the public health, welfare and safety:

A. Recreation:
in private or
single-family
following re
(1) Swimm
follows

Type
(c

(2) All rec
following

Type of
Handbal
Basketba
Baseball
Volleyba
Concessio
Casino bu
Concentr
barbequ
Outfield r
softball
Parking a
Picnic gro
Games no
10 peopl
pits, nat
Golf cours
Tennis cou

- E. In all cases where a district boundary line is located not farther than fifteen (15) feet away from a lot line of record, such boundary line shall be construed to coincide with such lot line.
- F. In all other cases where dimensions are not shown on the map, the location of boundaries shown on the map shall be determined by the use of the scale appearing thereon.

§ 48-7. Effect of establishment of districts.

Following the effective date of this local law:

- A. No building shall be erected, moved, altered, rebuilt or enlarged, nor shall any land or building be used, designed or arranged to be used, for any purpose or in any manner except in conformity with all regulations, requirements and restrictions specified in this local law for the district in which such building or land is located.
- B. No yard or open space required in connection with any building or use shall be considered as providing a required open space for any other building on the same or any other lot.
- C. No lot shall be formed from part of a lot already occupied by a building unless such building, all yards and open spaces connected therewith and the remaining lot comply with all requirements prescribed by this local law for the district in which said lot is located. No permit shall be issued for the erection of a building on any new lot thus created unless such building and lot comply with all the provisions of this local law.
- D. Nothing contained in this local law shall require any change in the plans, construction or designated use of a building complying with regulations in force prior to this local law, if either of the following is found to exist:
 - (1) A building permit or certificate of occupancy shall have been duly issued prior to the date of first publication of notice of the public hearing on this local law.

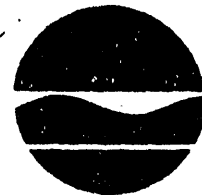
- (20) An application fee in accordance with the Standard Schedule of Fees of the Town of New Windsor shall be paid prior to site plan approval. The fee shall be renewable upon expiration of the campground permit.
- (21) Performance bond. A performance bond, maintenance bond or both, as determined by the Board of Appeals, shall be provided to ensure the proper installation and maintenance of public improvements.
- C. Airports and heliports. Airports and heliports are permitted subject to the following:
- (1) Any areas to be used by aircraft under its own power shall be provided with a dustless surface.
 - (2) The hours of operation shall be limited by the Planning Board to prevent disturbances to nearby residences.
 - (3) No area to be used by aircraft under its own power on the ground shall be less than two hundred (200) feet from any lot line. Evidence shall be presented to the Board that ample safeguards to minimize hazards and disturbances from the noise of aircraft affecting residents and properties in the vicinity will be assured at all times of operation.
 - (4) Access to areas used by aircraft in motion shall be controlled by fences and gates.
 - (5) Vending machines; newsstands; governmental installations; airport, airline and express offices, and aircraft repair facilities; and other customary accessory uses may be permitted within completely enclosed buildings. The storage and sale of aviation gasoline may also be permitted.
- D. Sandpits, gravel pits, removal of topsoil and landfill or excavations. Special conditions are as follows:
- (1) The proposed operation shall not adversely affect soil fertility, drainage and lateral support of abutting land or other properties, nor shall it contribute to soil erosion by water or wind.

1	2	3	4	5	6	7	8	9	10	11
District	Group	For Uses Listed Below	The Following Bulk Regulations Apply							
		(Uses herein refer in abbreviated form to uses listed in detail in Use Table, Cols. A and B.)	Minimum Lot Area (sq. ft. unless otherwise specified)	Minimum Lot Width (feet)	Required Front Yard Depth (feet)	Required Side Yard/Total Both Side Yards (feet)	Required Rear Yard Depth (feet)	Required Street Frontage	Maximum Building Height	Minimum Livable Floor Area (sq. ft.)
FP	A	All uses Col. A, Col. B (No. 2)	5 acres	200	100	50/100	50	50	50 ft.	N/A
	B	Uses Col. B (No. 1)	87,120	200	75	35/100	50	125	2½ stories or 35 ft.	1,200
	C	Uses Col. B (No. 3)	1 acre	200	75	35/100	50	50	2½ stories or 35 ft.	N/A
	D	Uses Col. B (Nos. 4, 5, 7)	20 acres	500	100	200/400	200	50	1 story or 18 ft.	N/A
	E	Uses Col. B (Nos. 6, 8, 9)	10 acres	500	100	200/400	200	50	1 story or 18 ft.	N/A
	F	Uses Col. B	10 acres	500	50	50/100	50	50	1 story or 18 ft.	N/A
	G	All other uses Col. B	3 acres	200	75	35/100	100	50	1 story or 18 ft.	N/A
R-1	H	Uses Col. A (No. 1)	(Same as for Group A)							
	I	Uses Col. B (No. 1)	(Same as for Groups B, C, D, E, F, G)							
	J	Uses Col. A (No. 2)	43,560	125	45	20/40	50	70	2½ stories or 35 ft.	1,200
	K.1	Uses Col. A (No. 3) (without central sewer and water)	43,560	125	45	20/40	50	70	2½ stories or 35 ft.	1,200
	K.2	Uses Col. A (No. 3) (with central sewer or water)	43,560	125	45	20/40	50	70	2½ stories or 35 ft.	1,200
	L	Uses Col. A (No. 4)	43,560	125	45	20/40	50	70	2½ stories or 35 ft.	
	M	Uses Col. A (No. 5)	15 acres	500	100	100/200	100	500	2½ stories or 40 ft.	N/A
	N	Uses Col. B (Nos. 2, 3)	20 acres	300	100	100/200	100	100	3 stories or 50 ft.	N/A
	O	Uses Col. B (No. 4)	10 acres	(Refer to Mobile Homes Local Law)						
	P	All other uses Col. B	10 acres	300	100	100/200	100	100	1 story or 18 ft.	750

Editor's Note: This table is a part of § 48-12 of Ch. 48, Zoning, of the Code of the Town of New Windsor.

New York State Department of Environmental Conservation
21 South Putt Corners Rd.
New Paltz, N.Y. 12561-1696
914-255-5453

cc: Mrs. Linda Nadas.
P.O. # 79 -
Rock Tavern ny



Robert F. Flacke
Commissioner

January 4, 1983

Mr. Patrick T. Kennedy, Building Inspector
Town of New Windsor
555 Union Avenue
New Windsor, N.Y. 12550

RE: Pond Construction - Linda Nadas Property
Bull Road, Town of New Windsor

Dear Mr. Kennedy:

As requested in your letter of December 17, 1982, this office has inspected the recently constructed pond at the above location.

Our observations reveal that the pond has been well constructed with a minimum of disturbance to the adjoining freshwater wetland. The construction of the pond should, in fact, enhance the wetland resource.

Disturbed areas around the pond should be seeded with an appropriate perennial grass seed as early in the Spring as possible in order to prevent erosion. We would also suggest that consideration be given to planting trees between the pond and Bull Road. This, in conjunction with the temporary barrier along Bull Road, should help to alleviate your concerns relating to the proximity of the pond to the travelled right-of-way.

I appreciate your contacting this office for our review and recommendations in this matter. Please feel free to call me at 914-255-5453 if you require additional information or explanation. Thank you.

Sincerely,

William E. Steidle
Sr. Environmental Analyst
Region 3

RECEIVED
JAN 5 1983
TOWN OF NEW WINDSOR

WES/pds

BY: Patricia Nadas
JAN 5 1983